

ENVIRONMENTAL
CLEARANCE



Government of India
Ministry of Environment, Forest and Climate Change
(Issued by the State Environment Impact Assessment
Authority(SEIAA), MAHARASHTRA)

To,

The Authorized Signatory
MACROTECH DEVELOPERS LIMITED
Lodha Excelus, NM Joshi Marg, Mahalaxmi, Mumbai- 400011 -400011

Subject: Grant of Environmental Clearance (EC) to the proposed Project Activity under the provision of EIA Notification 2006-regarding

Sir/Madam,

This is in reference to your application for Environmental Clearance (EC) in respect of project submitted to the SEIAA vide proposal number SIA/MH/INFRA2/451848/2023 dated 10 Nov 2023. The particulars of the environmental clearance granted to the project are as below.

- | | |
|--|--|
| 1. EC Identification No. | EC24B039MH177299 |
| 2. File No. | SIA/MH/INFRA2/451848/2023 |
| 3. Project Type | Expansion |
| 4. Category | B |
| 5. Project/Activity including Schedule No. | 8(b) Townships and Area Development projects. |
| 6. Name of Project | Residential cum Commercial development at village Balkum, Dhokali and Kolshet of Thane (W) by M/s Macrotech Developers LTD |
| 7. Name of Company/Organization | MACROTECH DEVELOPERS LIMITED |
| 8. Location of Project | MAHARASHTRA |
| 9. TOR Date | N/A |

The project details along with terms and conditions are appended herewith from page no 2 onwards.

Date: 08/02/2024

(e-signed)
Pravin C. Darade , I.A.S.
Member Secretary
SEIAA - (MAHARASHTRA)

Note: A valid environmental clearance shall be one that has EC identification number & E-Sign generated from PARIVESH. Please quote identification number in all future correspondence.

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STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

No. SIA/MH/INFRA2/451848/2023
Environment & Climate Change
Department
Room No. 217, 2nd Floor,
Mantralaya, Mumbai- 400032.

To
M/s. Macrotech Developers Limited.
Village: Balkum, Dhokali, Kolshet,
Thane

Subject : Environmental Clearance for proposed Residential cum Commercial development project at S. No. 62, 63/1, 63/2, 63/3, 63/4, 63/5, 63/6, 63/7, 63/8, 63/9, 63/10A, 63/10B, 64/1, 64/2, 64/3, 64/4, 64/5, 64/6, 64/7, 64/8, 64/9, 66, 67, 68/1, 68/2, 68/3, 69/1, 69/2, 69/3, 69/4A, 69/5, 73/6, 65/1, 65/5, 59/1, 61, 65/4, 60, 68/4, 68/5, 69/4B, 69/6, 70/1, 70/2, 70/3, 70/4, 70/5, 70/6, 70/7, 70/8, 70/9, 70/10, 71/1, 71/2, 71/3, 71/4, 71/5, 71/6, 71/7, 71/9, 72/1, 72/2, 72/3, 72/4, 72/5, 72/6, 72/7, 72/8, 72/9, 73/1, 73/2, 73/3, 73/4, 73/5, 73/7, 65/2, 65/4, 65/3, 68/2 of village Balkum, New S. No.: 11, 12, 92, 93/2B, 23/2, 23/4, 23/5, 30/1, 30/2, 30/3, 30/4, 31/1, 31/2, 31/3, 31/4, 32/1A, 32/2A, 32/2B, 32/3, 33/1, 12, 23/1, 23/3, 23/6, 25, 26, 30/5, 10/1B of village Dhokali New S. No.: 49/1/C, 50/12B/3, 50/12B/2, 50/13, 51/1B, 51/2, 51/3, 52/1C, 52/2, 52/3, 52/4, 52/5, 52/6, 53/1B, 53/2, 53/3, 53/4, 53/5, 53/6, 53/7B, 53/8, 54, 55/5, 55/7, 55/10A, 55/10B, 55/11, 55/12, 55/13, 55/14, 55/15, 60/11A, 60/12, 60/13, 60/14, 60/16, 60/17, 60/18, 60/19, 60/20A, 104, 274/1, 60/8B, 60/9B, 60/10A, 60/11B of village Kolshet, Thane by M/s. Macrotech Developers Limited.

Reference : Application no. SIA/MH/INFRA2/451848/2023

This has reference to your communication on the above-mentioned subject. The proposal was considered by the SEAC-2 in its 221st meeting under screening category 8 (b) B1 as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 275th (Day-1) meeting of State Level Environment Impact Assessment Authority (SEIAA) held on 10th January, 2024.

2. Brief Information of the project submitted by you is as below:-

No	Description	Details
1	Proposal Number	SIA/MH/INFRA2/451848/2023
2	Name of Project	Residential cum Commercial development at village Balkum, Dhokali and Kolshet, Thane (W)
3	Project category	8 (b)

No	Description	Details	
4	Type of Institution	Private	
5	Project Proponent	Name	Mr. Rupesh Kadam (DGM) M/s. Macrotech Developers Limited
		Regd. Office address	412, 4 th floor, 17G - Vardhaman Chamber, Cawasji Patel Road, Horniman Circle, fort, Mumbai
		Contact number	9769872565
		e-mail	rupesh.kadam2@lodhagroup.com
6	Consultant	ULTRA TECH Certificate No: NABET/EIA/2023/RA 0194-Rev 01 Validity: 18 th October 2024	
7	Applied for	Expansion	
8	Location of the project	<p>Village Balkum: S. No. 62, 63/1, 63/2, 63/3, 63/4, 63/5, 63/6, 63/7, 63/8, 63/9, 63/10A, 63/10B, 64/1, 64/2, 64/3, 64/4, 64/5, 64/6, 64/7, 64/8, 64/9, 66, 67, 68/1, 68/2, 68/3, 69/1, 69/2, 69/3, 69/4A, 69/5, 73/6, 65/1, 65/5, 59/1, 61, 65/4, 60, 68/4, 68/5, 69/4B, 69/6, 70/1, 70/2, 70/3, 70/4, 70/5, 70/6, 70/7, 70/8, 70/9, 70/10, 71/1, 71/2, 71/3, 71/4, 71/5, 71/6, 71/7, 71/9, 72/1, 72/2, 72/3, 72/4, 72/5, 72/6, 72/7, 72/8, 72/9, 73/1, 73/2, 73/3, 73/4, 73/5, 73/7, 65/2, 65/4, 65/3, 68/2,</p> <p>Village Dhokali: New S. No. 11, 12, 92, 93/2B, 23/2, 23/4, 23/5, 30/1, 30/2, 30/3, 30/4, 31/1, 31/2, 31/3, 31/4, 32/1A, 32/2A, 32/2B, 32/3, 33/1, 12, 23/1, 23/3, 23/6, 25, 26, 30/5, 10/1B,</p> <p>Village Kolshet: New S. No. 49/1/C, 50/12B/3, 50/12B/2, 50/13, 51/1B, 51/2, 51/3, 52/1C, 52/2, 52/3, 52/4, 52/5, 52/6, 53/1B, 53/2, 53/3, 53/4, 53/5, 53/6, 53/7B, 53/8, 54, 55/5, 55/7, 55/10A, 55/10B, 55/11, 55/12, 55/13, 55/14, 55/15, 60/11A, 60/12, 60/13, 60/14, 60/16, 60/17, 60/18, 60/19, 60/20A, 104, 274/1, 60/8B, 60/9B, 60/10A, 60/11B, Thane</p>	
9	Latitude and Longitude	Latitude: 19°14'3.94"N Longitude: 72°59'16.56"E	
10	Plot Area (sq. m.)	3,45,625.00 Sq. mt.	
11	Deductions (sq. m.)	72,124.71 Sq. mt.	
12	Net Plot area (sq. m.)	2,73,500.29 Sq. mt.	
13	Ground coverage (m ²) & %	84,878.39 Sq. mt. (31%)	
14	FSI Area (sq. m.)	8,27,426.45 Sq. mt.	
15	Non-FSI (sq. m.)	4,96,245.66 Sq. mt.	

No	Description	Details				
16	Proposed built-up area (FSI + Non FSI) (sq. m.)	13,23,672.11 Sq. mt.				
17	FSI area (m ²) approved by Planning Authority till date	Received Amended Approval dt. 14.07.2023 from Thane Municipal Corporation (T.M.C.)				
18	Earlier EC details with Total Construction area, if any	Received Expansion in EC from SEIAA, Maharashtra on dated 15.06.2018 (SEIAA-EC-0000000343) for total construction built-up area of 14,10,519.89 Sq. mt.				
19	Construction completed as per earlier EC/ without EC (FSI + Non FSI) (sq.m.)	Total constructed area on site till date (FSI + Non FSI): 9,81,029.80 sq.mt.				
20	Previous EC / Existing Building dt. 15.06.2018		Proposed Configuration			Reason for Modification / Change
	Building Name	Configuration	Building Name	Configuration	Height (m)	
	As per received EC: Construction Completed & Occupied					
	Plot A	Tower J & K: Basement + Ground + 7 Floors each	Plot A	Tower J & K: Basement + Ground + 7 Floors each	25.00	No Change
		Fitness Centre: Ground + 1 floor		Fitness Centre: Ground + 1 floor	8.93	
	Under Construction Buildings as per EC received & Proposed Expansion Buildings					
	Plot A	Tower C, D, G, H: 2 Basements + Ground + 7 Floors each	Plot A	Tower C, D, G, H: 2 Basements + Ground + 7 Floors each	25.00	No Change
Tower 1 To 7: 2 Basements + Ground/ Stilt + 2 podium + 30 Floors each		Tower 1 to 6: Stilt + 1 Floor each		5.95	<ul style="list-style-type: none"> • Decrease in 1 no. of building, Change in Building orientation and location • Now basements & podium are deleted • Decrease in residential floors 	

No	Description		Details			
As per received EC: Construction Completed & Occupied						
	Plot B	Block A: Basement + Ground + 4 Podium + 9 Floors	Plot B	Wing A: Basement + Ground + 4 Podium + 9 Floors	49.45	No Change in building design. Change in nomenclature from block to wing
		Block B: Basement + Ground + 4 Podium + 10 Floors		Wing B: Basement + Ground + 4 Podium + 9 floors	49.60	No Change in building design • Decrease by 1 no of floor
Under Construction Buildings as per EC received & Proposed Expansion Building						
		Retail: Basement + Ground + 1 Floor + 4 Podium		Tower 1 to 3: Ground/ Stilt + 23 floors each	69.90	Change in the planning now instead of 1 no. of retail bldg. 3 nos of residential towers are proposed Now basement is deleted
		Block C (Retail + MLCP): Basement + Ground + 4 Podium + 10 Floors		Retail + MLCP: Basement + Ground + 6 Floors	20.15	No change in the footprint but now residential tower is also proposed with retail + MLCP
				Tower 4: Ground/ Stilt + 1 st to 6 th floors (Part Parking + Part Residential) + 7 th to 23 rd floors	69.90	
As per received EC: Construction Completed & Occupied						
	Plot C	Tower W1 to W5, W7 to W16: Ground + 27 floors each	Plot C	Tower W1 to W5, W7 to W16: Ground + 27 floors each	84.95	No Change in building design
		Tower W6, W17 to W22, W26 to W37,		Tower W6, W17 to W22,	90.95	

No	Description	Details			
	W45, W46: Ground + 29 Floors each Signet 1 (Retail + Commercial): Lower Ground + Ground + 6 Floors Clubhouse: 3 Blocks: Ground floor each 3 Blocks: Ground + 1 floor each		W26 to W37, W45, W46: Ground + 29 Floors each Signet 1 (Retail + Commercial): Lower Ground + Ground + 6 Floors Clubhouse: 3 Blocks: Ground floor each 3 Blocks: Ground + 1 floor each	23.70 4.20 9.45	
	Under Construction Buildings as per EC received & Proposed Expansion Buildings				
	Tower W23, W38 to W40: Ground + 29 Floors each		Tower W23, W38 to W40: Ground + 29 Floors each	90.95	No change in building design
	Tower W24, W25, W41 to W43, W47 to W50: Ground + 29 Floors each		Tower No. W24, W25, W41 to W43, W47 to W50: Ground + 39 Floors each	118.85	•No Change in building design. • Proposed Vertical Expansion by 10 nos. of floors
	W44: Ground + 29 Floors each		W44: Ground + 39 Floors each		Change in building design
	MLCP: LG + UG + 12 Floor		MLCP: LG + UG + 12 Floors	39.55	Increase in footprint
	--		Signet 2 (Retail + Commercial): LG + Part G/ Part P1 + P2 + 20 Floors	70.00	newly proposed
21	No. of Tenements & Shops	Total flats: 11019 Shops Offices			
22	Total Population	65891 number of persons			
23	Total Water Requirements CMD	8025 CMD			
24	Under Ground Tank (UGT) location	Underground & Basement level			

No	Description	Details		
25	Source of water	Thane Municipal Corporation (T.M.C.)		
26	Sewage Generation CMD & % of sewage discharge in sewer line	Sewage Generation: 6877 CMD % of treated sewage discharge in sewer line: 35 %		
27	STP Capacity & Technology	6 nos. of STPs of total capacity 1928 KL of Moving bed bioreactor (MBBR) technology 1 STP of capacity 5100 KL of Membrane Bioreactor (MBR) Technology		
28	STP Location	Underground level, Basement level		
29	Solid Waste Management during Construction Phase	Type	Quantity (Kg/d)	Treatment / disposal
		Dry waste	120	Segregation of waste into biodegradable and non-biodegradable and disposal through authorized recyclers.
		Wet waste	80	
		Excavation material	658723	<p>Already Done:</p> <ul style="list-style-type: none"> Excavation material (511786 cum): 165070 Cum has been reused on site for backfilling and road leveling and remaining and 346716 Cum has been disposed to authorized landfill site with prior permission of TMC Construction waste: Partly has been reuse on site and remaining has been disposed to the authorized land fill site. <p>To be done:</p> <ul style="list-style-type: none"> Excavation material (146937 cum): 43169 Cum shall be reused on site for backfilling and road leveling and remaining and 103768 Cum shall be disposed to authorized landfill site with prior permission of TMC Construction waste: Partly shall be reuse on site and remaining shall be disposed to the authorized land fill site.

No	Description	Details		
		Construction waste	--	Part reuse on site and disposal of remaining waste to the authorized land fill site.
30	Total Solid Waste Quantities with type during Operation Phase & Capacity of OWC to be installed	Type	Quantity (Kg/d)	Treatment/ disposal
		Dry waste	14891	To Authorized recyclers
		Wet waste	9927	Treatment in Organic Waste Converters.
		E-Waste	113 kg/month	Separate storage at a common designated location and disposal through authorized recyclers as per E-waste (Management) Second Amendment Rules, 2023.
		STP Sludge (dry)	--	Use as manure
31	R.G. Area in sq.m.	RG required: 65,610.46 sq. mt. RG provided on Mother earth: 66,852.75 Sq.mt. Total Layout RG proposed: 75,700.60 sq. mt.		
		Existing trees on plot: 5961 nos.		
		Number of trees to be cut: 1605 nos. (out of which 1044 nos. of trees are already cut)		
		Number of trees to be transplanted: 1155 nos. (out of which 1112 nos. of trees are already cut)		
		Number of trees to be retained: 3201 nos.		
		Number of trees to be planted: a) In RG area: Already planted: 5184 Nos. b) In Miyawaki Plantation (with area): 5520 nos. (out of which 400 nos. of trees are already planted) Total Miyawaki plantation area: 8766 sq.mt.		
		Total Nos. of trees after development: 14483 Nos.		
32	Power requirement	During Operation Phase: Connected load (kW): 78573 kW Demand load (kW): 40999 kW		
33	Energy Efficiency	a) Total Energy saving (%): 20.30% b) Solar energy (%): 5.27%		
34	D.G. set capacity	30 nos. of D.G. set of total capacity 24215 kVA		
35	No. of 4-W & 2-W Parking with 25% EV	4-Wheeler: 12958 Nos. 2-Wheeler: 8463 Nos. Provision of E-Charging facility (25 %)		
36	No. & capacity of Rain water harvesting tanks /Pits	25 nos. of RWH tanks of total capacity 2779 KL & 14 nos. of recharge pits		
37	Project Cost in (Cr.)	Rs. 2439 Crore		

No	Description	Details
38	EMP Cost	EMP Costing including costing towards disaster management: a) Construction Phase: Rs. 925 Lacs /Annum. b) Operation Phase: Capital cost: Rs. 5046.88 Lacs Operational and Maintenance cost: Rs. 167.77 Lacs/ annum
39	CER Details with justification if any as per MoEF & CC circular dated 01/05/2018	--
40	Details of Court Cases/ litigations w.r.t the project and project location, if any.	No litigation against the project or land

COMPARATIVE STATEMENT – AREA & PARKING DETAILS

No.	Description	As per EC received dt. 15.06.2018	Seeking expansion in EC	Remarks
1.	Total Plot Area (sq.mt.)	3,55,704.60	3,45,625.00	Decrease by 10079.60 sq. mt. due to deletion of a part plot
2.	Deductions (sq.mt.)	76,181.94	72,124.71	Proposed net decrease by 4,057.23 sq.mt. due to decrease in plot area and increase in amenity plot area & area not in possession
3.	Net Plot Area (sq.mt.)	2,79,522.66	2,73,500.29	Proposed decrease by 6,022.37 sq.mt.
4.	Ground coverage Area (sq.mt.)	1,11,304.00	84,878.39	Proposed decrease by 26,425.61 sq. mt. due to change in planning
5.	RG Requirement (sq.mt)	66,125.00	66,321.75	Now calculation done as per UDCPR norms
6.	Provision of RG area (sq.mt.)	66,500.00	66,852.75 (on mother earth)	Proposed increase by 352.75 sq.mt. as per requirement
7.	Built - up Area as per FSI (sq.mt.)	7,39,599.32	8,27,426.45	Proposed increase by 87,827.13 sq.mt. as per the UDCPR norm
8.	Built-up Area as per Non-FSI (sq.mt.)	6,70,920.57	4,96,245.66	Proposed decrease by 1,74,674.91 sq.mt. as per the UDCPR norm
9.	Total Construction Built-up Area (FSI + Non FSI) (sq.mt.)	14,10,519.89	13,23,672.11	Net decrease by 86,847.78 sq.mt.
10	Parking Requirement (nos.)	4W: 11516	4W: 11149	Decrease by 367 nos. due to decrease in flat nos.
		2W: 12746	2W: 8462	Decrease by 4284 nos. due to conversion to composite parking as per UDCPR
11.	Parking spaces provision (nos.)	4W: 12297	4W: 12958	Proposed increase by 661 nos.
		2W: 12746	2W: 8463	Provision done as per requirement

12.	Flat Nos.	11506	11019	Proposed decrease by 487 nos. of flats
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COMPARATIVE STATEMENT - PROJECT PROPOSAL

Plot	As per EC received dated 15.06.2018	Seeking expansion in EC	Remarks
Plot A	As per received EC: Construction Completed & Occupied		
	Tower J & K: Basement + Ground + 7 Floors each	Tower J & K: Basement + Ground + 7 Floors each	No Change in building design
	Fitness Centre: Ground + 1 floor	Fitness Centre: Ground + 1 floor	
	Under Construction Buildings as per EC received & Proposed Expansion Buildings		
	Tower C, D, G, H: 2 Basement + Ground + 7 Floors each	Tower C, D, G, H: 2 Basement + Ground + 7 Floors each	<ul style="list-style-type: none"> • No Change in building design • Tower C & D: Construction work not started • Tower G & H: Construction is in progress as per received EC
Tower 1 To 7: 2 Basement + Ground/ Stilt + 2 podium + 30 Floors each	Tower 1 to 6: Stilt + 1 Floor each	<ul style="list-style-type: none"> • Decrease in 1 no. of building, Change in Building orientation and location • Now basements & podium are deleted • Decrease in residential floors • Construction work not started 	
Plot B	As per received EC: Construction Completed & Occupied		
	Block A: Basement + Ground + 4 Podium + 9 Floors	Wing A: 1 Basement + Ground + 4 Podium + 9 Floors	<ul style="list-style-type: none"> • No Change in building design • Change in nomenclature from block to wing
	Block B: Basement + Ground + 4 Podium + 10 Floors	Wing B: 1 Basement + Ground + 4 Podium + 9 floors	<ul style="list-style-type: none"> • No Change in bldg design • Decrease by 1 no of floor
	Under Construction Buildings as per EC received & Proposed Expansion Buildings		
	Retail: Basement + Ground + 1 Floor + 4 Podium	Tower 1 to 3: Ground/ Stilt + 23 floors each	<ul style="list-style-type: none"> • There is change in the planning now instead of 1 no. of retail bldg. 3 nos of residential towers are proposed • Now basement is deleted • Construction of part ground is in process as per the received approval & EC.
Block C (Retail + MLCP): Basement + Ground + 4 Podium + 10 Floors	Retail + MLCP: 1 Basement + Ground + 6 Floors Tower 4:	<ul style="list-style-type: none"> • There is no change in the footprint but now residential tower is also proposed with retail + MLCP 	

		Ground/ Stilt + 1 st to 6 th floors (Part Parking + Part Residential) + 7 th to 23 rd floors	<ul style="list-style-type: none"> • Construction of basement & Part ground is done as per the received approval & EC.
Plot C	As per received EC: Construction Completed & Occupied		
	Tower W1 to W5, W7 to W16: Ground + 27 floors each	Tower W1 to W5, W7 to W16: Ground + 27 floors each	No Change in building design
	Tower W6, W17 to W22, W26 to W37, W45, W46: Ground + 29 Floors each	Tower W6, W17 to W22, W26 to W37, W45, W46: Ground + 29 Floors each	
	Signet 1 (Retail + Commercial): Lower Ground + Ground + 6 Floors	Signet 1 (Retail + Commercial): Lower Ground + Ground + 6 Floors	
	Clubhouse: 3 Blocks: Ground floor each 3 Blocks: Ground + 1 floor each	Clubhouse: 3 Blocks: Ground floor each 3 Blocks: Ground + 1 floor each	
	Under Construction Buildings as per EC received & Proposed Expansion Buildings		
	Tower W23, W38 to W40: Ground + 29 Floors each	Tower W23, W38 to W40: Ground + 29 Floors each	<ul style="list-style-type: none"> • No Change in building design • Tower W23, W38, W39: RCC completed
	Tower W24, W25, W41 to W43, W47 to W50: Ground + 29 Floors each	Tower No. W24, W25, W41 to W43, W47 to W50: Ground + 39 Floors each	<ul style="list-style-type: none"> • No Change in building design. • Proposed Vertical Expansion by 10 nos. of floors • Construction status is as follows: • Tower W24, W41, W42, W50, W25: Construction is in progress as per received EC • Tower W43, W44, W47, W48, W49: Construction work not started
	W44: Ground + 29 Floors each	W44: Ground + 39 Floors each	<ul style="list-style-type: none"> • Change in building design • Construction not started
	MLCP: LG + UG + 12 Floors	MLCP: LG + UG + 12 Floors	<ul style="list-style-type: none"> • Increase in footprint • Part building Construction Completed as per received EC. Proposed part is not constructed on site
	--	Signet 2 (Retail + Commercial): LG + Part G/ Part P1 + P2 +20 Floors	<ul style="list-style-type: none"> • Newly proposed • Construction work not started

COMPARATIVE STATEMENT - ENVIRONMENTAL PARAMETERS

No.	Description	As per EC received dt. 15.06.2018	Seeking expansion in EC	Remarks
1.	Occupancy (Nos.)	66702	65891	Proposed decrease by 811 nos. due to decrease in flats nos.
2.	Total Water Requirement (KLD)	9395*	8025	Proposed decrease by 1370 KLD as there is decrease in the cooling tower requirement & reduction in occupancy.
3.	Sewage Generation (KLD)	7648	6877	Proposed decrease by 771 KLD due to decrease in water requirement
4.	Solid Waste Generation (Kg/day)	30599	24818	Proposed decrease by 5781 kg/day reduction in occupancy.

3. The proposal has been considered by SEIAA in its 275th (Day-1) meeting held on 10th January, 2024. and decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

Specific Conditions:

A. SEAC Conditions-

1. PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions as per the Circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra showing all required RG area on mother earth as per Hon'ble Supreme Court order.
2. PP to obtain following NOCs & remarks as per amended planning:
 - a) Water supply NOC for building C, D, H, Tower 1-6 of Plot A & W 47 to W 49 of Plot C; b) Sewer connection; c) SWD NOC; d) CFO NOC for building C, D, H, Tower 1-6 of Plot A & W 43 to W 44, W 47 to W 49 of Plot C; e) Revised Tree NOC for Plot A & C; d) Revalidated Nalla remarks.
3. PP to submit undertaking and architect certificate mentioning that they have provided all required RG on mother earth as per the Hon'ble Supreme Court order regarding RG area.
4. PP to submit Architect certificate mentioning that there is no variance in the FSI & Non-FSI of construction completed buildings as compared to FSI & Non-FSI of buildings mentioned in EC.
5. PP to obtain certified compliance report of earlier EC from Regional Office, MOEF&CC, Nagpur.
6. PP to obtain certificate from Thane Municipal Corporation (TMC) of compensatory tree plantation done.
7. PP to submit plan for use of excess treated water after completion of the project as 1527 KLD excess treated water in proposed ongoing construction activity; PP to reduce discharge of treated

water up to 35%; PP to submit undertaking from concerned authority/agency/third party regarding use of excess treated water.

8. PP to submit building wise 2-wheeler & 4-wheeler (required & provided) parking statement.

B. SEIAA Conditions-

1. PP has provided mandatory RG area of 65,610.46 m² on mother earth without any construction. Local planning authority to ensure the compliance of the same.
2. PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.
3. PP to achieve at least 5% of total energy requirement from solar/other renewable sources.
4. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF & CC vide F.No.22-34/2018-IA III dt.04.01.2019.
5. SEIAA after deliberation decided to grant EC for-FSI- 7,36,507.09 m², Non FSI- 2,58,210.12 m², total BUA- 9,94,717.21m². (Plan approval No-TMC/TD-TP/TPS/4442/23, dated- 14.07.2023)

General Conditions:

a) Construction Phase :-

- I. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.
- III. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- IV. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.
- VII. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- IX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- X. The Energy Conservation Building code shall be strictly adhered to.
- XI. All the topsoil excavated during construction activities should be stored for use in

horticulture / landscape development within the project site.

- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XIV. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- XVI. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVII. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XVIII. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XIX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

B) Operation phase:-

- I. a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
- III. a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. b) PP to give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at

least 50 % of water, Local authority should ensure this.

- IV. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.
- V. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
- VI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- VII. PP to provide adequate electric charging points for electric vehicles (EVs).
- VIII. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
- IX. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- X. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.
- XI. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at parivesh.nic.in
- XII. A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
- XIII. The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

C) General EC Conditions:-

- I. PP has to strictly abide by the conditions stipulated by SEAC& SEIAA.
- II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the

Environment department before start of any construction work at the site.

- III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
 - IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
 - V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
 - VI. No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
 - VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
5. This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.
6. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended from time to time.
8. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its

amendments.

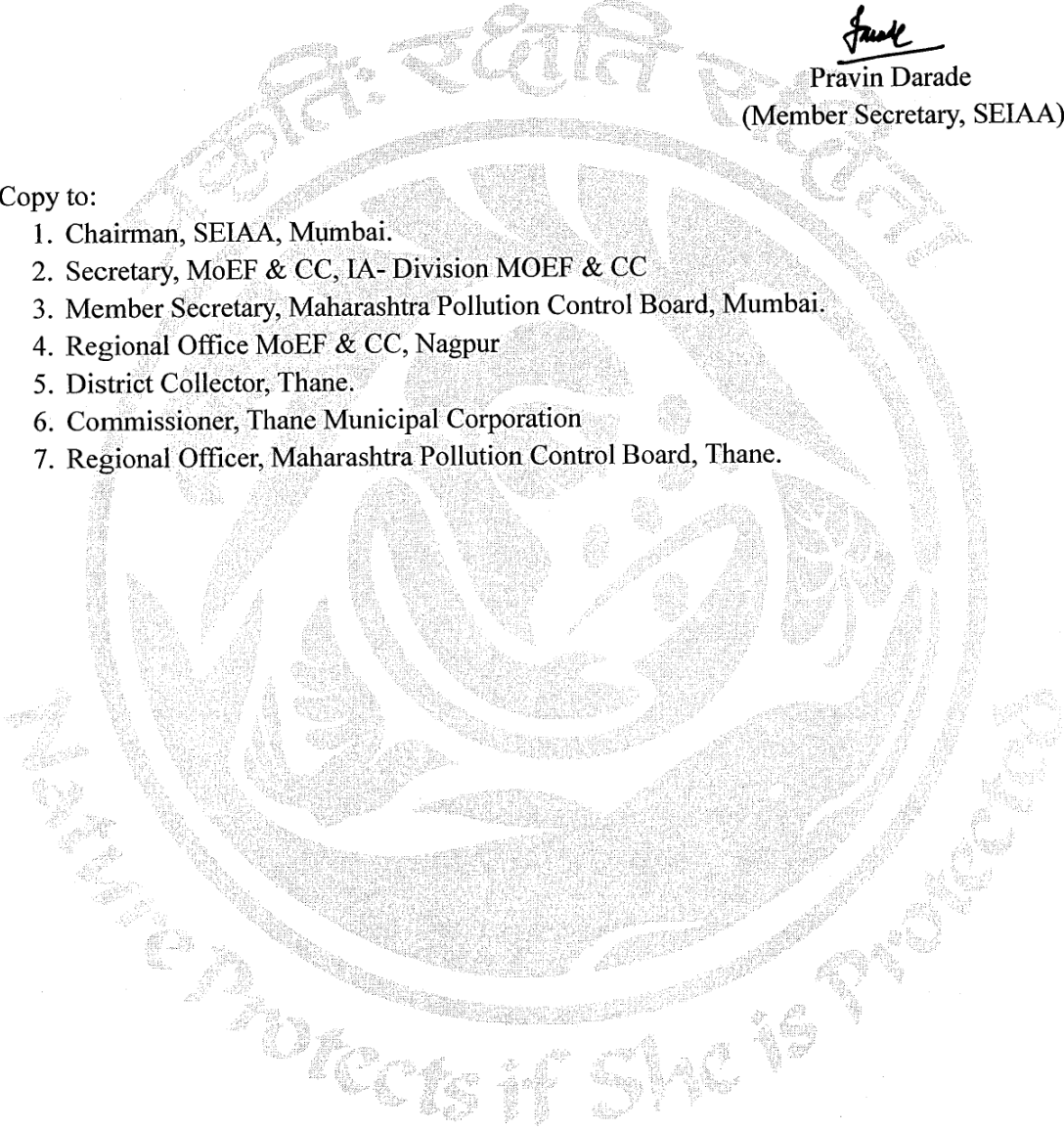
9. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.



Pravin Darade
(Member Secretary, SEIAA)

Copy to:

1. Chairman, SEIAA, Mumbai.
2. Secretary, MoEF & CC, IA- Division MOEF & CC
3. Member Secretary, Maharashtra Pollution Control Board, Mumbai.
4. Regional Office MoEF & CC, Nagpur
5. District Collector, Thane.
6. Commissioner, Thane Municipal Corporation
7. Regional Officer, Maharashtra Pollution Control Board, Thane.



Signature Not Verified

Digitally signed by: Sri Pravin C. Darade, I.A.S.

Designation: Member Secretary

Date and Time: 08/02/2024 5:01:19 PM